

Addendum No. 2
To the Plans and Specifications of

Escambia County Fire-Rescue
Paradise Beach – Station 20
1250 Bauer Road
Pensacola, Florida

Four Pages + Attachment(s)
August 4, 2026

This addendum, in conjunction with the original issue of Contract Documents, dated April 30, 2026, hereby constitute the current documents for the construction project. This addendum consists of:

GENERAL:

- G1. Impact fees for water, sewer, gas, and fiber are to be paid by owner. All Florida Power and Light fees are to be included in the bid price.
- G2. The Building Permit fee has been previously paid by the owner.
- G3. Compaction, concrete and steel special inspections are to be provided by owner.
- G4. Owner provided items – The following items are to be provided by owner. The cost of these items should not be included in bid, but installation is to be included in bid price unless otherwise noted:
 - a. All items shown to be provided by Owner on Sheet A103 of construction documents.
 - b. Split-system ACUs
 - c. Dehumidifiers
 - d. Generator
 - e. 800A Service Rated, Bypass Isolation, Automatic Transfer Switch
 - f. Dual Purpose Docking Station
 - g. All HVAC sensors, installation, and programming for HVAC control systems shall be a separate contract between Escambia County and Trane. See sheet M701 for additional information.

DRAWINGS:

Civil:

C1

- 1. Sheet C-001 –
 - a. General Notes (Site Development) have been updated. Please replace the notes on the bid set with the attached.
 - b. The FDOT Notes have been deleted from this sheet and the entire plan set.
 - c. Note 3 under Record Drawing Notes has been revised as follows:
“CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.”

2. Sheet C-002 –
 - a. The Clay berm detail was deleted from this sheet and a Soil Stockpile Detail has been added to this sheet. See attached.
 - b. Note 6 has been revised as follows:
 “ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED, AND/OR SOD AS REQUIRED. SOD PINS SHALL BE USED FOR ALL SOD PLACED ON SLOPES STEEPER THAN 3:1. AREAS OF ESTABLISHED SOD OR GROUND COVER SHALL BE REPLACED IN KIND TO MATCH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION COMMENCEMENT.”
3. Sheet C-201 – This entire sheet has been revised and is attached. Please replace this sheet in the original bid plan set. The specific changes to this sheet include the following:
 - a. The pond outfall for the north stormwater pond has been revised from a flooded bubble up to a stormwater pump station.
 - b. The bypass driveway located on the south side of the equipment bay has been labeled as Deductive Alternate No. 1.
 - c. The bypass driveway has been changed from asphalt paving to concrete paving.
 - d. A cross-section for the pond outfall has been added to the sheet as well as a bubble-up detail.
4. Sheet C-202 –
 - a. The bypass driveway located on the south side of the equipment bay has been labeled as Deductive Alternate No. 1.
 - b. The bypass driveway has been changed from asphalt paving to concrete paving and control/construction joints have been added.
5. Sheet C-301 –
 - a. The pond outfall for the north stormwater pond has been revised from a flooded bubble up to a stormwater pump station (see changes on C-201).
 - b. Delete the bubble-up structure detail.
 - c. Revised Note 8 to read as follows:
 “ALL NEW BUILDING ROOF DRAINS, DOWNSPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.”
 - d. Revised the call for the two pond gravel access drives to read as follows:
 “INSTALL: 80 SY~12' WIDE GRAVEL ACCESS DRIVE INTO POND (SLOPE 6:1)”
 - e. Revised the call for the work proposed within the right-of-way of Bauer Road to include the following language:
 “THE ROW SHALL BE STABILIZED IN ACCORDANCE w/FDOT REQUIREMENTS”
6. Sheet C-302 –
 - a. The pond outfall for the north stormwater pond has been revised from a flooded bubble up to a stormwater pump station (see changes on C-201).
 - b. Revised overflow pipe from 14” x 23” RCEP to an 18” ADS HP stormwater Pipe.
 - c. Revised the North Stormwater Pond layout table to include the stormwater wet well location.
7. Sheet C-501 –
 - a. Two flashing warning signs have been added to the project. One shall be located north of the exit drive and one shall be located south of the exist drive. The plan call is as follows for each:
 “INSTALL: CONTRACTOR SHALL INSTALL A SOLAR POWERED ADVANCE WARNING SIGN, SIMILAR TO W11-8 (K&K SYSTEMS EMERGENCY WARNING SYSTEM W/WIRELESS CONTROLLER OR EQUAL). SIGN SHALL BE INSTALLED IN THE WEST SIDE OF THE ROAD 360 LF NORTH OF THE SOUTH EXIT DRIVE PER FDOT INDEX 700-101 CASE II.”
 - b. Added the handicap signage to the two handicap stalls on the plans.

8. Sheet C-601 – This entire sheet has been revised and is attached. Please replace this sheet in the original bid plan set. The specific changes to this sheet include the following:
 - a. Limits of irrigation/landscaping have been added to the sheet along with accompanying notes. The dashed line shown for an irrigation and landscape allowance is to receive centipede sod over 4" top soil. Irrigation well and underground irrigation system is to be included in bid price, and is to be designed and constructed by landscape supplier.
 - b. Note no. 24 was added to the sheet.
9. Sheet C-703 – Insulation for the fire line backflow preventer shall be green.
10. Sheet C-704 –
 - a. The chain link fencing vinyl coating shall be green.
 - b. The commercial water service backflow preventer detail has been revised to reference ECUA Detail D-40 (sheet C-703) for the commercial meter assembly.
11. Sheet C-705 – Added stormwater pump station details, see attached.

Structural:

- S1. Sheet S001 – At design loads section, wind speed is to be changed to 180 mph.
- S2. Dumpster pad foundation – See enclosed new dumpster pad foundation drawings.
- S3. Sheet S102 – The living area left of column line C has a 4" thick slab. The apparatus bay right of column line C has an 8" thick slab.

Architectural:

- A1. Sheet A103 – Add one addition #063 Semi-recessed fire extinguisher cabinet to apparatus bay.
- A2. Sheet A101 – The fire marshal is requiring that the walls that separate the dorm rooms from the corridor be classified as smoke partitions. See enclosed revised Sheet A101 for location of smoke partitions. Since these walls are already scheduled to be constructed from floor to roof deck, they do comply with this requirement. Walls will need to be sealed to bottom of vinyl backed insulation at roof deck. Any penetrations through these corridor walls will need to be sealed with sealant that meets requirements of a smoke partition. USG Firecode Smoke-sound sealant should be applied beneath the bottom track of stud wall.
- A3. Sheet A507 – See enclosed new detail of dumpster screen plan and elevation.
- A4. Interior Sign Schedule – See enclosed new drawing for interior sign schedule.
- A5. Sheet A104 – At the two window void openings from the mezzanine into the apparatus bay, provide double 14 ga studs at each jamb, then double 14 ga studs at head and sill of each opening. These are meant to stabilize the window openings for training purposes.
- A6. Sheet A106 – FRP to be Class B, color to be chosen from list of manuf standard colors.
- A7. Sheet A101 – Door 144A has been changed to a Type E door, hollow metal frame and door, 90 minute rated. Provide door hardware set 5.0 for this door. The Horton sliding door has been omitted.
- A8. Sheet A106 – Addendum #1 changed the apparatus bay flooring to a Neogard system. This Neogard system is also to be applied to Worship 141 and Ice 143.

Electrical:

- E1. Sheet E111 FLOOR PLANS - POWER – Add a variable frequency drive mounted in ELEC/IT RM 134, that will serve a 15HP storm drain pump. The starter shall be provided and installed by Division 26. Provide a 80A, 3ph 22kAIC, circuit breaker in panel MDP to serve motor via the VFD.
- E2. Sheet – E111 FLOOR PLANS - POWER – Add an emergency gas shut off push button for the gas shut off solenoid serving the kitchen range, AGS ASGSEGOTW or approved equal. The button shall be provided, installed and wired to the gas solenoid, by Division 26. Coordinate exact requirements with Division 22 and solenoid manufacturer.

Mechanical, Plumbing, and Fire Protection:

- M1. Sheet – M101 FLOOR PLANS – HVAC – Change support type of horizontal air handling units to equipment rails mounted from floor in lieu of hangers suspended from structure above. [Mezzanine Sheet Note 1, Section View 3]
- M2. Sheet – M101 FLOOR PLANS – HVAC – Locate DDC panel on wall with single swinging door in lieu of wall with double doors to improve clear space for maintenance.
- M3. Sheet – M101 FLOOR PLANS – HVAC – Add fire damper in 6” exhaust duct from EF-3 through wall of room 142 ADA Toilet.
- M4. Sheet – M101 FLOOR PLANS – HVAC – Provide smoke-rated sealant for all duct penetrations through smoke partitions, including walls separating dorm rooms and corridors. Refer to life safety plans for all rated assemblies.
- M5. Sheet – P101 FLOOR PLANS – WASTE & VENT – Update Sheet Note 4 and grease waste pipe material to ASTM A74 coated cast-iron similar to Charlotte Pipe Edge HP Iron, Tyler Pipe, or AB&I.

SPECIFICATIONS:

1. Section 087100 – The doors of the dorm rooms have been required to be part of a smoke partition by the fire marshal. Because of this, a closer will need to be added to Doors 104A, 107A, 108A, 112A, 114A, 116A, 118A, 119A, and 121A. Closer to be equal to: Surface Closer UNI4400 689 YA

SUBSTITUTIONS:

1. Section 087100 –
- The following substitutions will be allowed for door hardware brands:
- Hanging Devices: DORMAKABA (BestHI), ALLEGION and HAGER in addition to ASSA ABLOY’s brands McKinney and Pemko
 - Mortise locks, power transfers, exit devices, door closers, wiring harnesses: ALLEGION (Falcon, Schlage, Ives, LCN, Von Duprin) and DORMAKABA (BEST, Dorma, Precision, Dorma Commercial) brands in addition to ASSA ABLOY’s brands McKinney, Corbin Russwin, Norton Rixon, Sargent, Accentra (Yale), Adams Rite.
 - Protective Plates, Operating Trim (push/pulls, kick/mop plates, stops, etc): Burns Manufacturing and ALLEGION (Ives) in addition to ASSA ABLOY brand Rockwood.
- Accessories/Barrier Products (thresholds, weatherstrip, saddles): NGP, Hager and Zero in addition to ASSA ABLOY’s Pemko.
2. Spec Section 133419 – Box Metal Buildings has been added as an approved substitution; must meet all requirements of original specification.
3. Spec Section 133419 – Ideal Steel has been added as an approved substitution, must meet all requirements of original specification.

END OF ADDENDUM #2

GENERAL NOTES (SITE DEVELOPMENT):

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
4. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
5. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
6. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
7. CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.
8. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
9. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
10. THIS SET OF PLANS IS FOR THE CIVIL CONSTRUCTION PORTIONS OF THE PROJECT. THE CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH THE ARCHITECTURAL/MECHANICAL/ELECTRICAL/PLUMBING AND STRUCTURAL PLANS AS APPLICABLE FOR BUILDING INTERFACES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFERS AND STORMWATER FACILITIES UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE OWNER. ALL DISTURBED AREAS SHALL BE RETURNED TO EQUAL OR BETTER CONDITION.
12. THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER SYSTEM.
13. PRIOR TO CONSTRUCTION, SEPARATE BUILDING INSPECTION DEPARTMENT PERMITS SHALL BE OBTAINED AS REQUIRED.
14. IF ARCHAEOLOGICAL MATERIAL/PREHISTORIC ARTIFACTS SUCH AS POTTERY OR CERAMICS, STONE TOOLS OR METAL IMPLEMENTS, OR ANY OTHER PHYSICAL

REMAINS THAT COULD BE ASSOCIATED WITH NATIVE AMERICAN CULTURES, OR EARLY COLONIAL OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME, THE PROJECT SHOULD CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE IMMEDIATE VICINITY OF SUCH DISCOVERIES. THE APPLICANT/RECIPIENT, OR OTHER DESIGNEE, SHOULD CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AND THE DSH/FEMA REGION IV ENVIRONMENTAL OFFICER AND FDEM STATE ENVIRONMENTAL LIAISON OFFICER FOR FURTHER GUIDANCE. PROJECT ACTIVITIES SHOULD NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION FROM THE DIVISION OF HISTORICAL RESOURCES.

15. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES; ALL WORK MUST STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH F.S. 872.05.
16. PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROPOSED REMOVAL OF PROTECTED TREES, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS ON SITE, GRADING, EXCAVATING, BERMING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITEWORK.
17. FAILURE TO COMPLY AND CONTINUALLY MAINTAIN ALL APPROVED ELEMENTS OF AN APPROVED SITE PLAN, INCLUDING LANDSCAPE, APPEARANCE AND OTHER SITE DEVELOPMENT PERFORMANCE STANDARDS SHALL BE A VIOLATION OF ESCAMBIA COUNTY ORDINANCE SUBJECT TO ENFORCEMENT AND PENALTIES.

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SITE INFORMATION

	SF	AC
TOTAL PARCEL AREA =	229,017	5.26
LIMITS OF CONSTRUCTION =	158,369	3.64

PRE-DEVELOPED (LIMITS OF CONSTRUCTION)	
PRE-DEVELOPED WOODED AREA =	158,369

POST-DEVELOPED (LIMITS OF CONSTRUCTION)	
POST-DEVELOPED PERVIOUS AREA =	110,738
POST-DEVELOPED IMPERVIOUS AREA =	47,631
BUILDING =	13,952
ASPHALT PAVING =	9,585
CONCRETE PAVING =	24,094
FLOOR TO AREA RATIO (FAR) =	0.30
(WITHIN THE LIMITS OF CONSTRUCTION - 2.0 Max)	

PERCENT SEMI/IMPERVIOUS LOT COVERAGE = 30.08%
(WITHIN THE LIMITS OF CONSTRUCTION - 85% MAX)

BUILDING SETBACKS

FRONT AND REAR = 15 FEET
SIDES = 10 FEET

ECUA FH#4952
TESTED 2-24-2026
FLOW=1140 GPM
STATIC=76psi
RESIDUAL=60psi

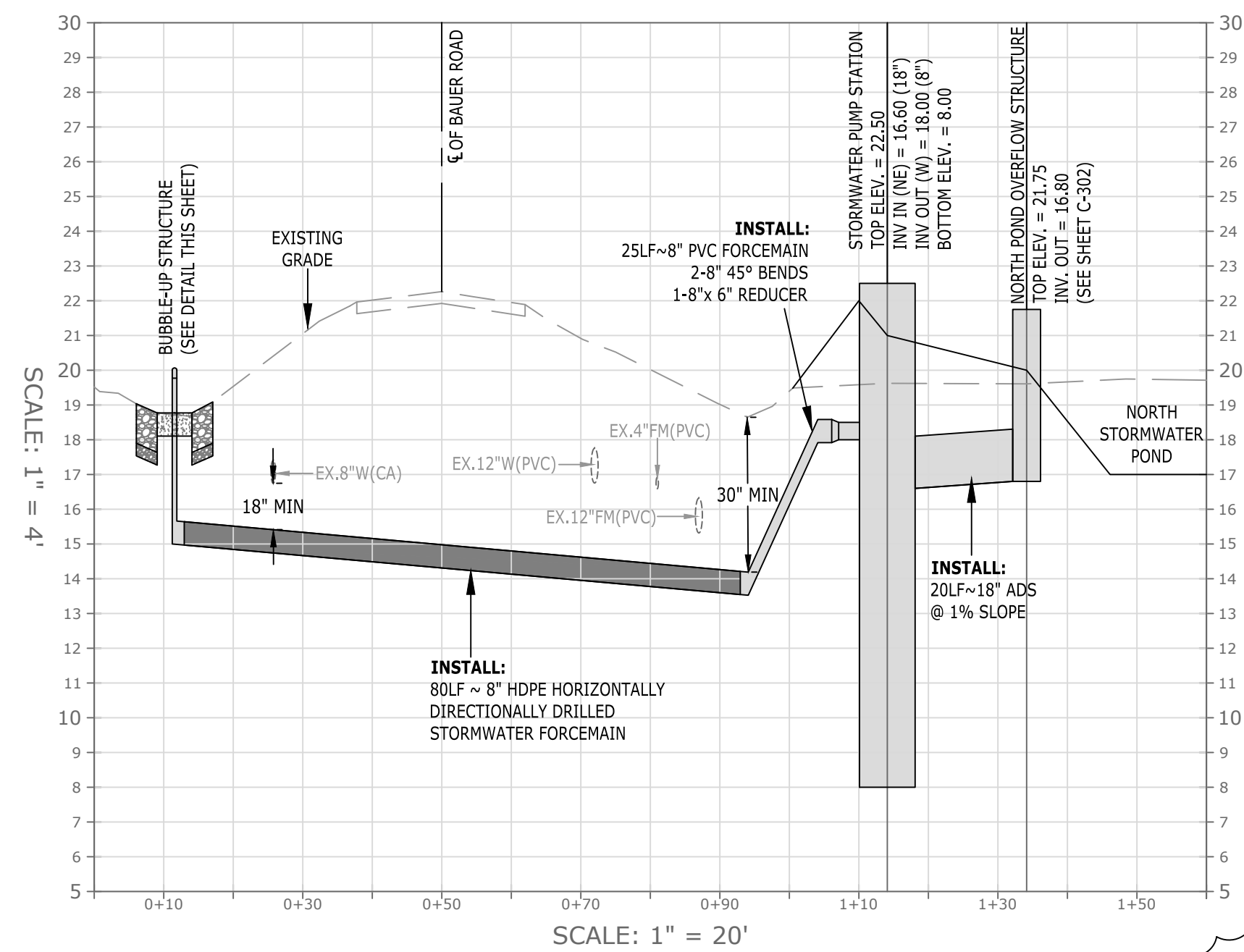
TBM 583/34-3
ELEVATION 21.32, NAVD88
Set 60d Nail & County Disk in the
East Side of a Power Pole
Northing = 517083.01
Easting = 1053529.60

24" C.M.P.
(Full of Dirt)
N. Inv. Elev. 17.91
S. Inv. Elev. 16.59

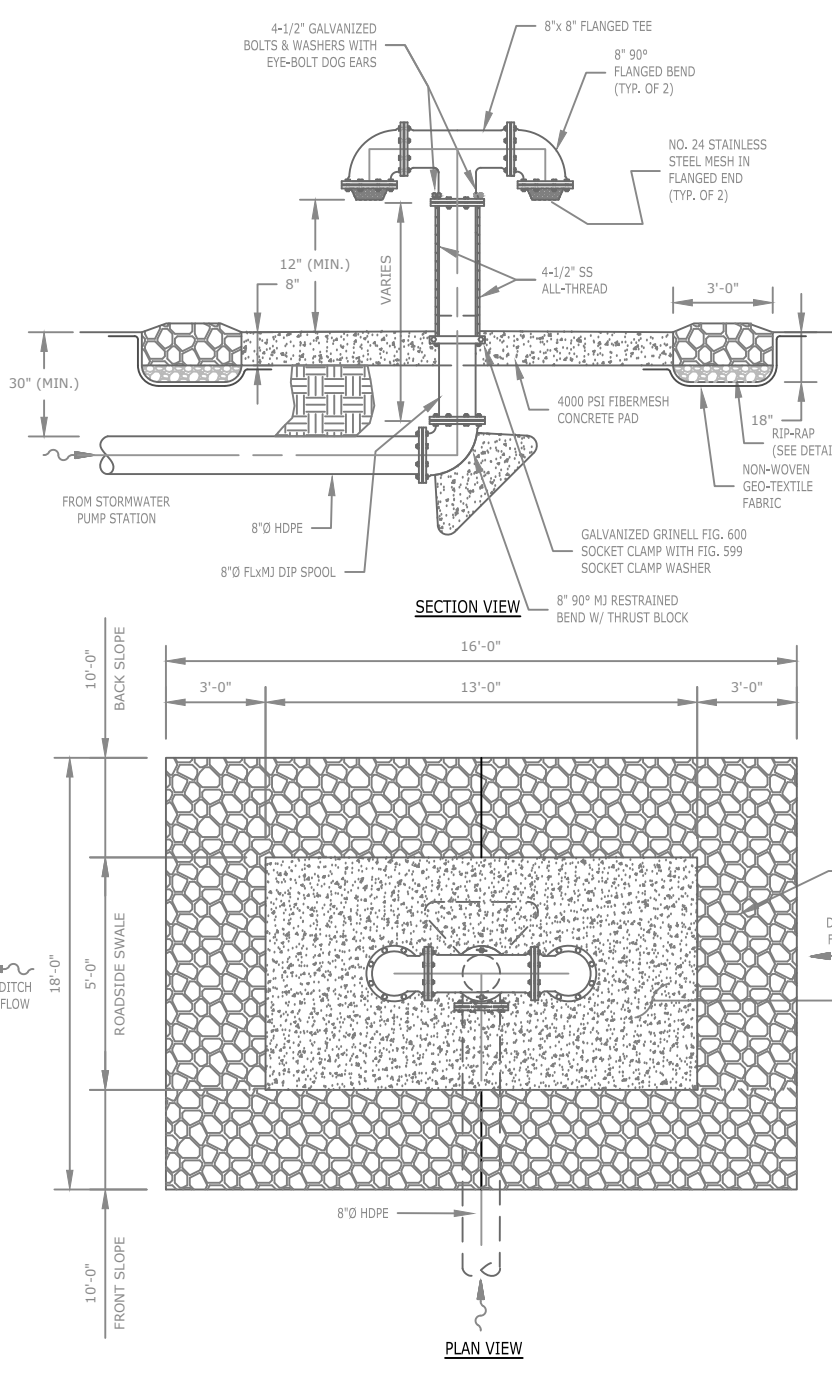
STREET
ADDRESS
SIGN
1110

PUBLIC RIGHT-OF-WAY NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL PERMITS AND LICENSES NECESSARY TO WORK IN THE ESCAMBIA COUNTY RIGHT-OF-WAY.
- NO ROADWAYS SHALL BE CLOSED, LANE CLOSURES MAY BE ALLOWED WITH ADEQUATE NOTICE GIVEN AND PRIOR APPROVAL. ROAD LANE CLOSURES SHALL BE KEPT AS SHORT AS POSSIBLE AND SHALL BE COORDINATED WITH THE AGENCY HAVING JURISDICTION (AHJ) - DEPARTMENT OF TRANSPORTATION, CITY, OR COUNTY AS APPLICABLE. THE AHJ SHALL BE NOTIFIED 72 HOURS IN ADVANCE BEFORE ANY WORK COMMENCES ON THEIR RIGHT-OF-WAY. TEMPORARY ACCESS TO ALL DRIVEWAYS SHALL BE PROVIDED WITHIN TWO (2) HOURS OF INITIAL DISRUPTION AND MAINTAINED UNTIL FINAL PROJECT ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL ON ALL ROADWAYS. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL DEVELOP AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE AGENCY HAVING JURISDICTION FOR THEIR APPROVAL. THIS PLAN MUST MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN THE FDOT STANDARD PLANS INDEX 102 AS APPLICABLE.
- ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITY ACCOMMODATIONS MANUAL, LATEST EDITION.
- SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF TRANSPORTATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT REQUIREMENTS.
- ASPHALT PAVING, CONCRETE OR PAVED SHOULDERS, OR SWALES DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE. PAYMENT FOR PAVEMENT CUT AND PATCH IS LIMITED TO THE HATCHED AREAS SHOWN ON THE PLANS. PAVEMENT SHALL BE PROTECTED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AT ALL OTHER LOCATIONS. ALL CONCRETE CURBING OR DITCHING SHALL BE REPLACED IN ACCORDANCE WITH ESCAMBIA COUNTY REQUIREMENTS AND AT THE CONTRACTOR'S EXPENSE.



BAUER ROAD CROSSING
SECTION A-A

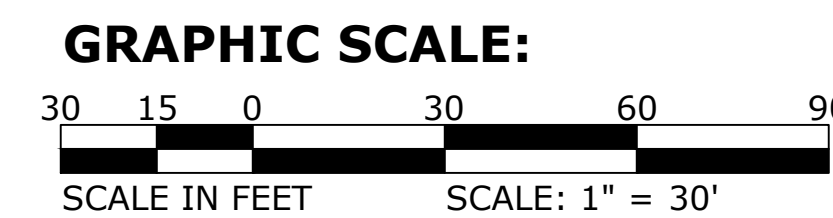
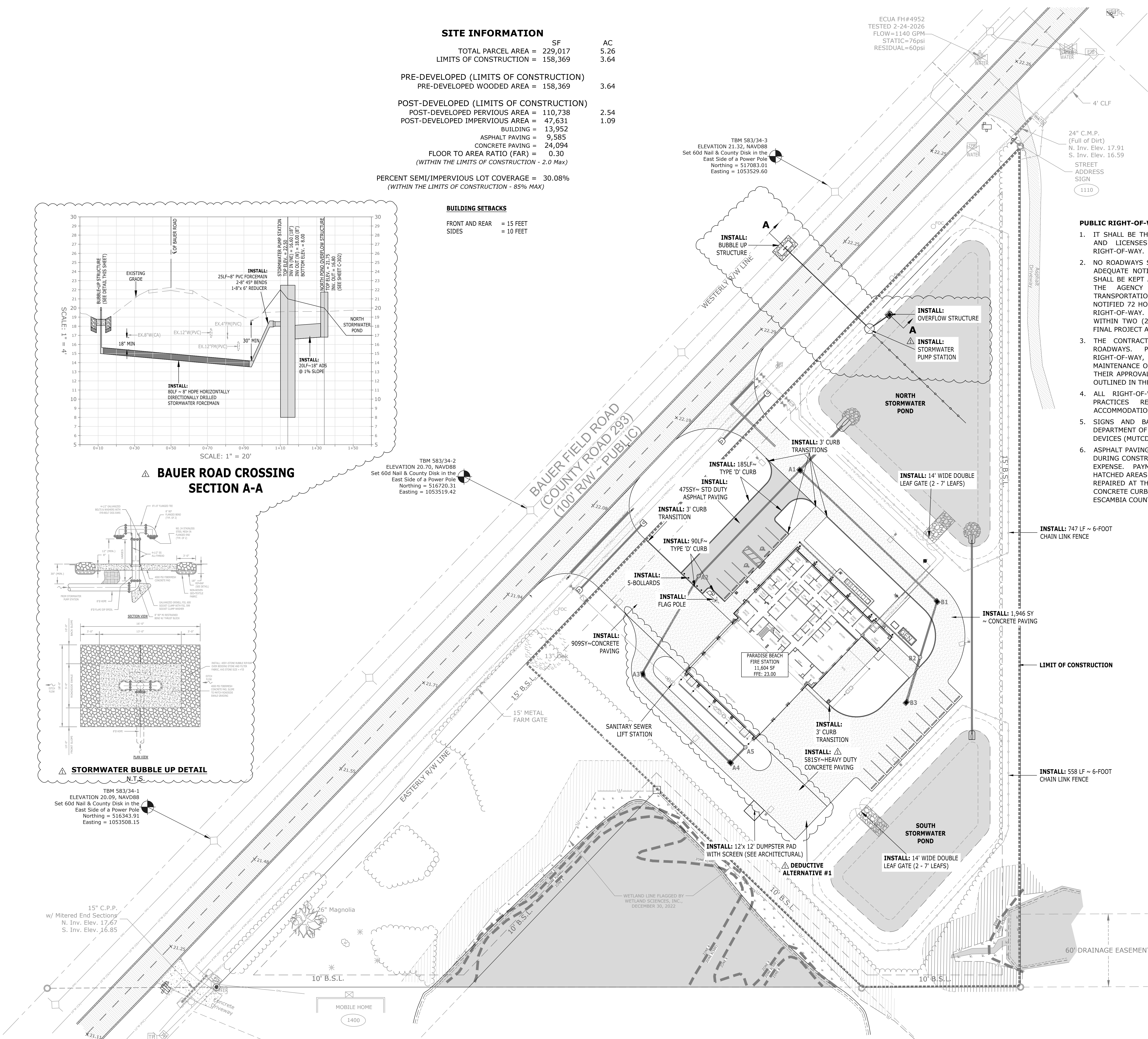


STORMWATER BUBBLE UP DETAIL
N.T.S.

TBM 583/34-1
ELEVATION 20.09, NAVD88
Set 60d Nail & County Disk in the
East Side of a Power Pole
Northing = 516343.91
Easting = 1053508.15

15" C.P.P.
w/ Mitered End Sections
N. Inv. Elev. 17.67
S. Inv. Elev. 16.85

TBM 583/34-2
ELEVATION 20.70, NAVD88
Set 60d Nail & County Disk in the
East Side of a Power Pole
Northing = 516720.31
Easting = 1053519.42



SITE PLAN

FORREST DANIELL
& Associates, P.C.



8007 American Way
Daphne, AL 36526

251.625.6490 wk.
251.625.6494 fx.
www.fdanell.com

REVISIONS

ADDENDUM #2 08/04/2026

1	
2	
3	
4	
5	
6	

Date: E. Long, P.E.

P.E. #55393

JOB #: 250001-002

DATE: 7/10/2026

C-201

06 of 20

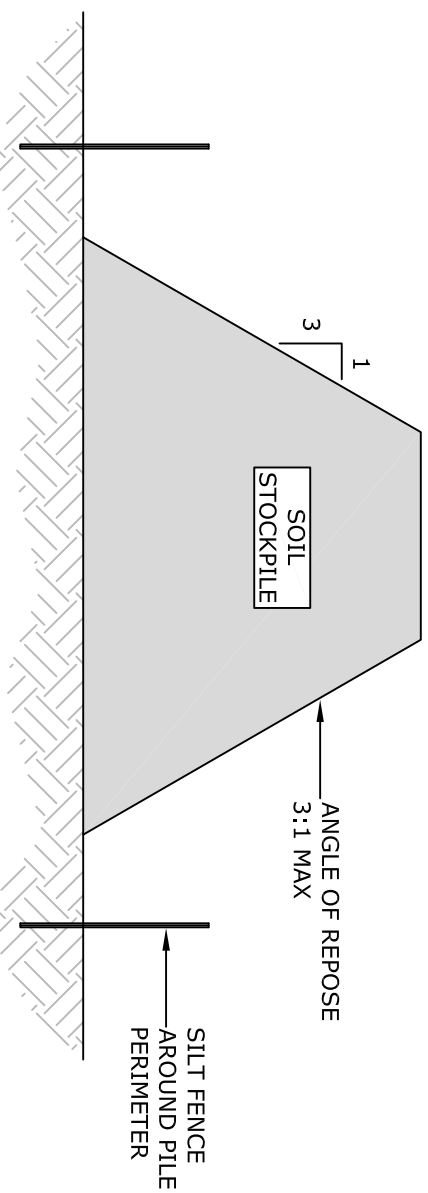
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CALIPER INCHES
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MUNICIPAL
ENGINEERING SERVICES INC.

8574 Turkey Bluff Road • Navarre, Florida 32566 • p: (850) 939-5732
 CERTIFICATE OF AUTHORIZATION: CA-30886

13 of 20



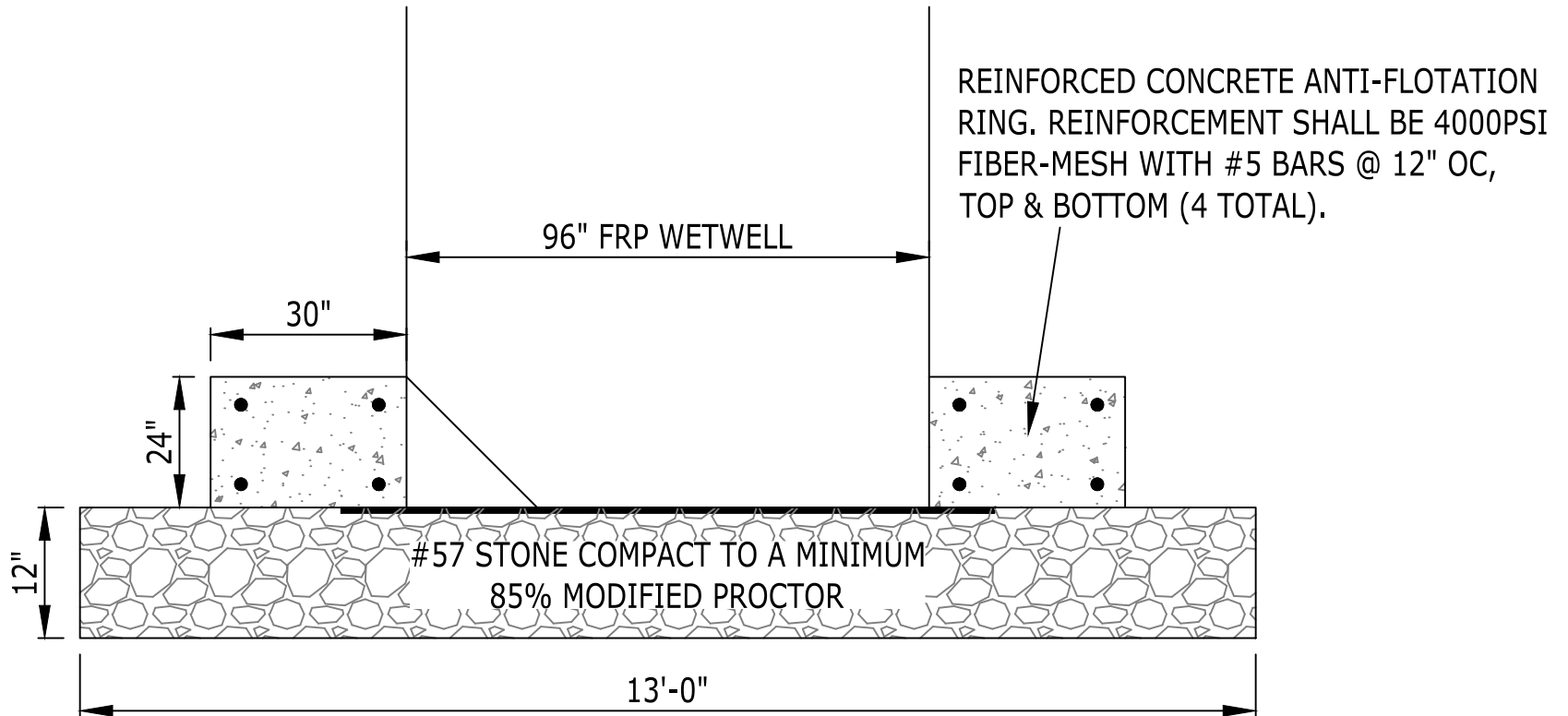
NOTES:

1. STOCKPILE AREAS SHALL BE LOCATED IN UPLAND AREAS AWAY FROM AND OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.
2. SILT FENCING SHALL BE INSTALLED AROUND THE PERIMETER OF ALL STOCKPILES TO CONTROL EROSION. SILT FENCING SHALL BE SUPPLEMENTED WITH HAY BALES, WIRE BACKING OR OTHER EROSION CONTROL MEASURES TO ENSURE SEDIMENT REMAINS CONTAINED.
3. IF STOCKPILES WILL REMAIN UNUSED FOR MORE THAN 14 DAYS, THEY SHALL BE SEEDED OR COVERED WITH A TARP TO ENSURE STABILIZATION.



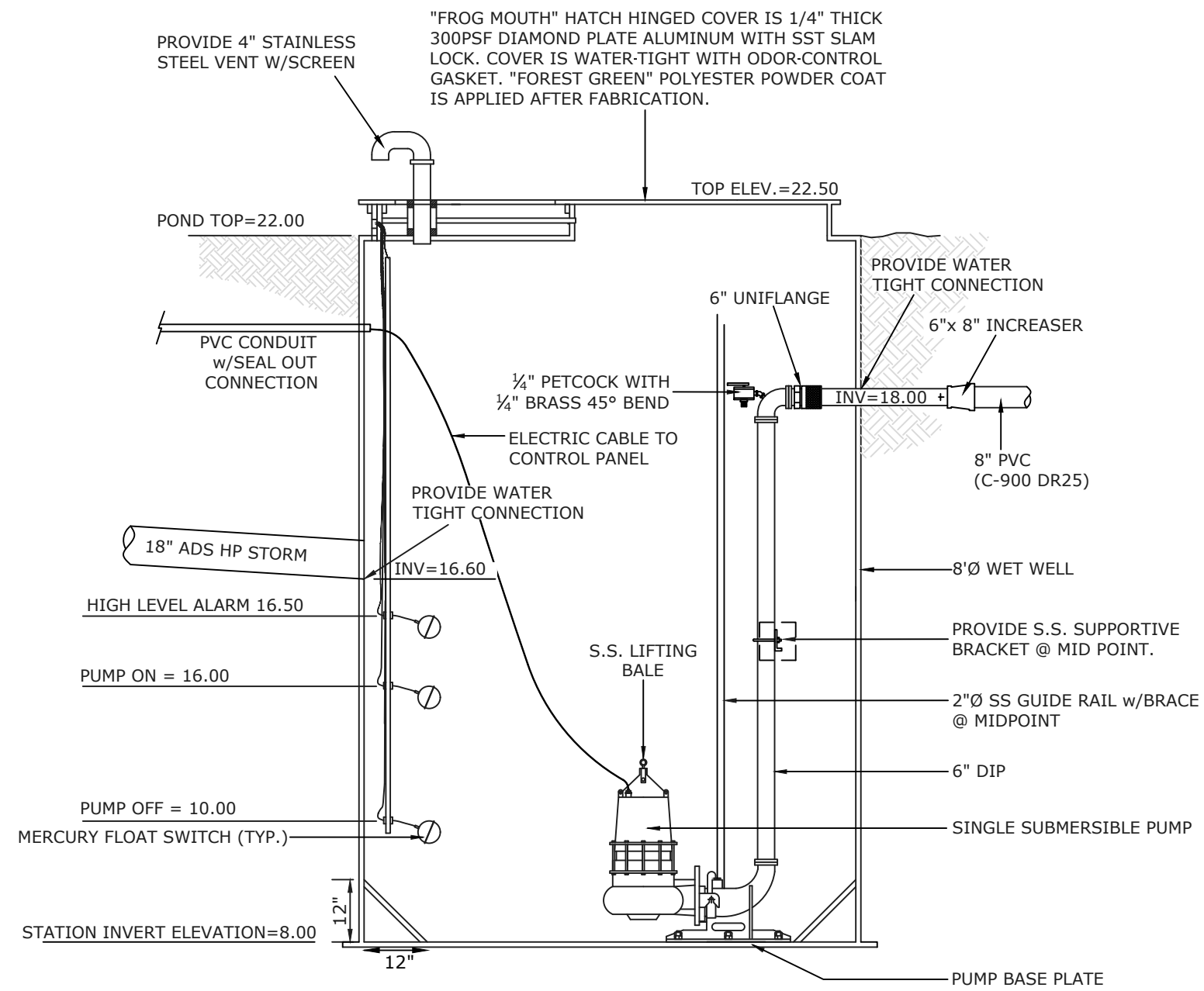
SOIL STOCKPILE DETAIL

NOT TO SCALE



ANTI-FLOATATION BALLAST DETAIL

NOT TO SCALE

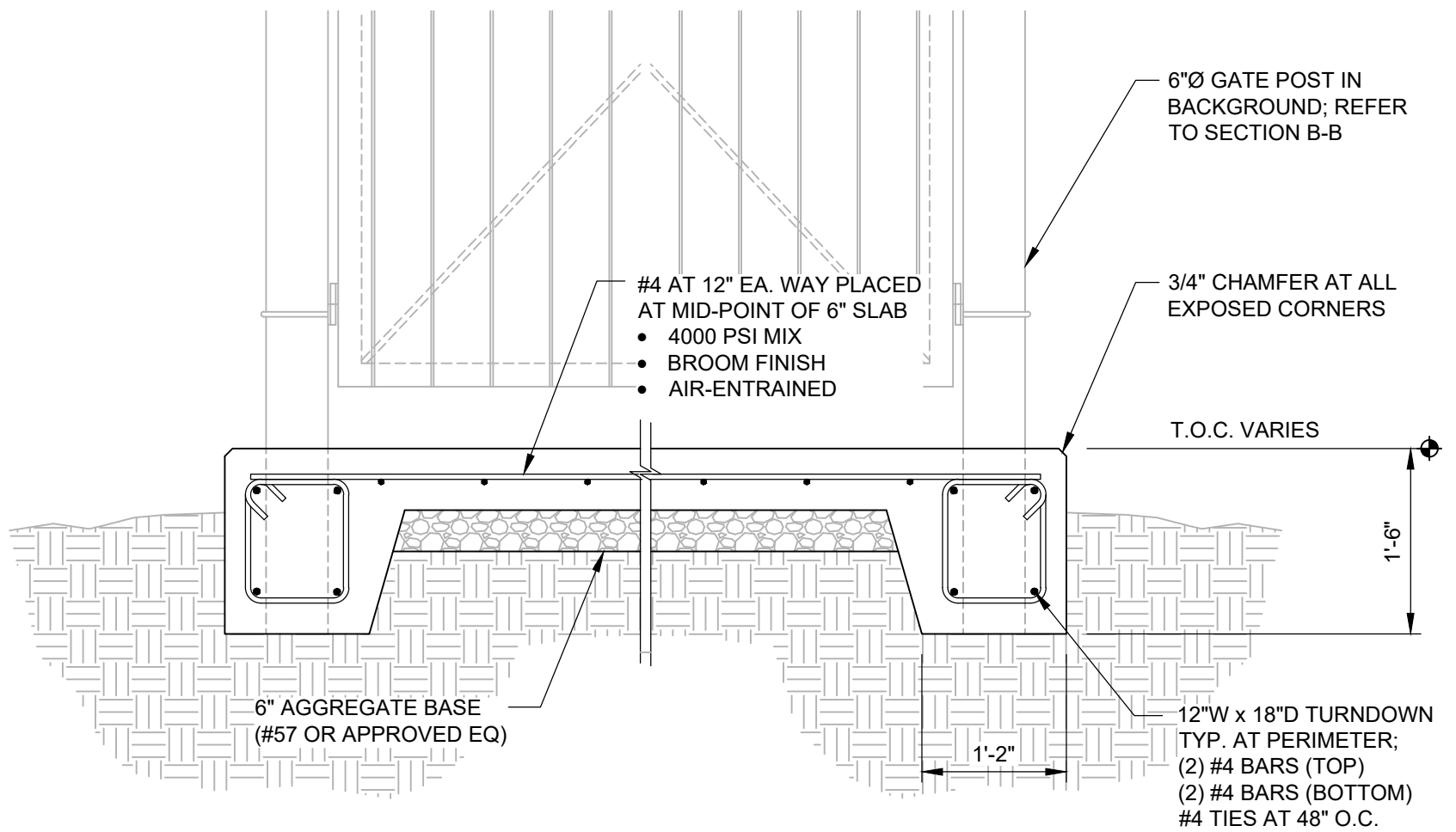


LIFT STATION DATA	
WET WELL DIAMETER	8 FEET
DISCHARGE FORCEMAIN SIZE	6" DIP THROUGH WETWELL WALL, 8" C-900 DR 25 THEREAFTER
DESIGN OPERATING POINT	975 GPM @ 21' TDH
VOLTAGE	240
HP (MAX)	15.0
PHASE	THREE
RPM	1800

⚠ **STORMWATER LIFT STATION ELEVATION** N.T.S.

NOTES:

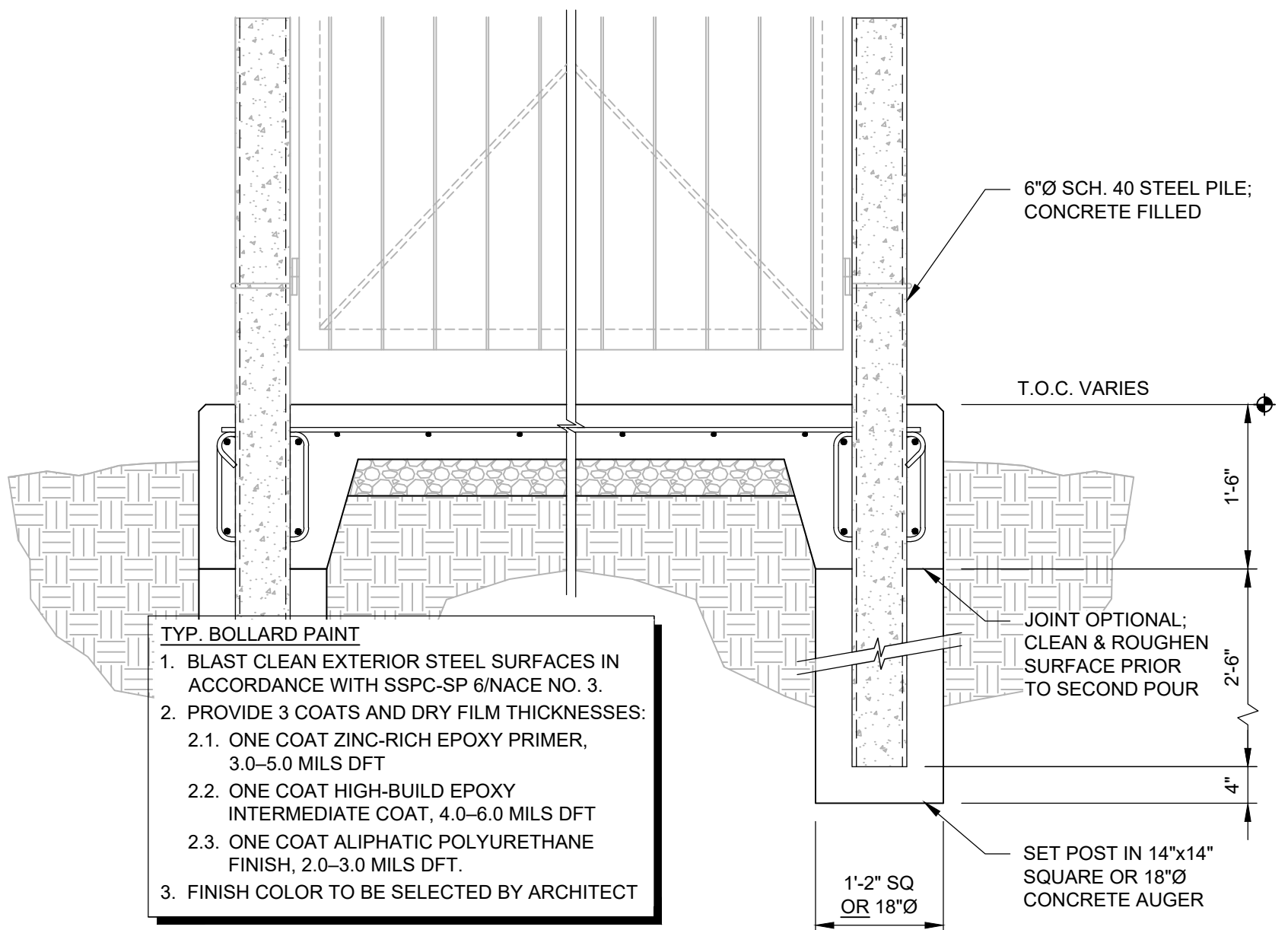
- ELEVATION VIEW IS ROTATED FOR CLARITY. REFER TO PLAN VIEW FOR TRUE SPATIAL LAYOUT.
- CONTROL PANEL FOR STORMWATER PUMPING STATION SHALL BE A SIMILAR TO THE SANITARY PUMP STATION PANEL. (SEE DETAIL SHEET C-702)
- BOTTOM OF THE CONTROL PANEL SHALL BE AT A MINIMUM ELEVATION OF 23.50.
- SUBMERSIBLE SEWAGE PUMPS VORTEX IMPELLER WILL BE ALLOWED.



SECTION 'A-A'

TYPICAL SECTION AT DUMPSTER PAD TURNDOWN

SCALE: 3/4"=1'-0"



SECTION 'B-B'

TYPICAL SECTION AT 6" SUPPORT POST

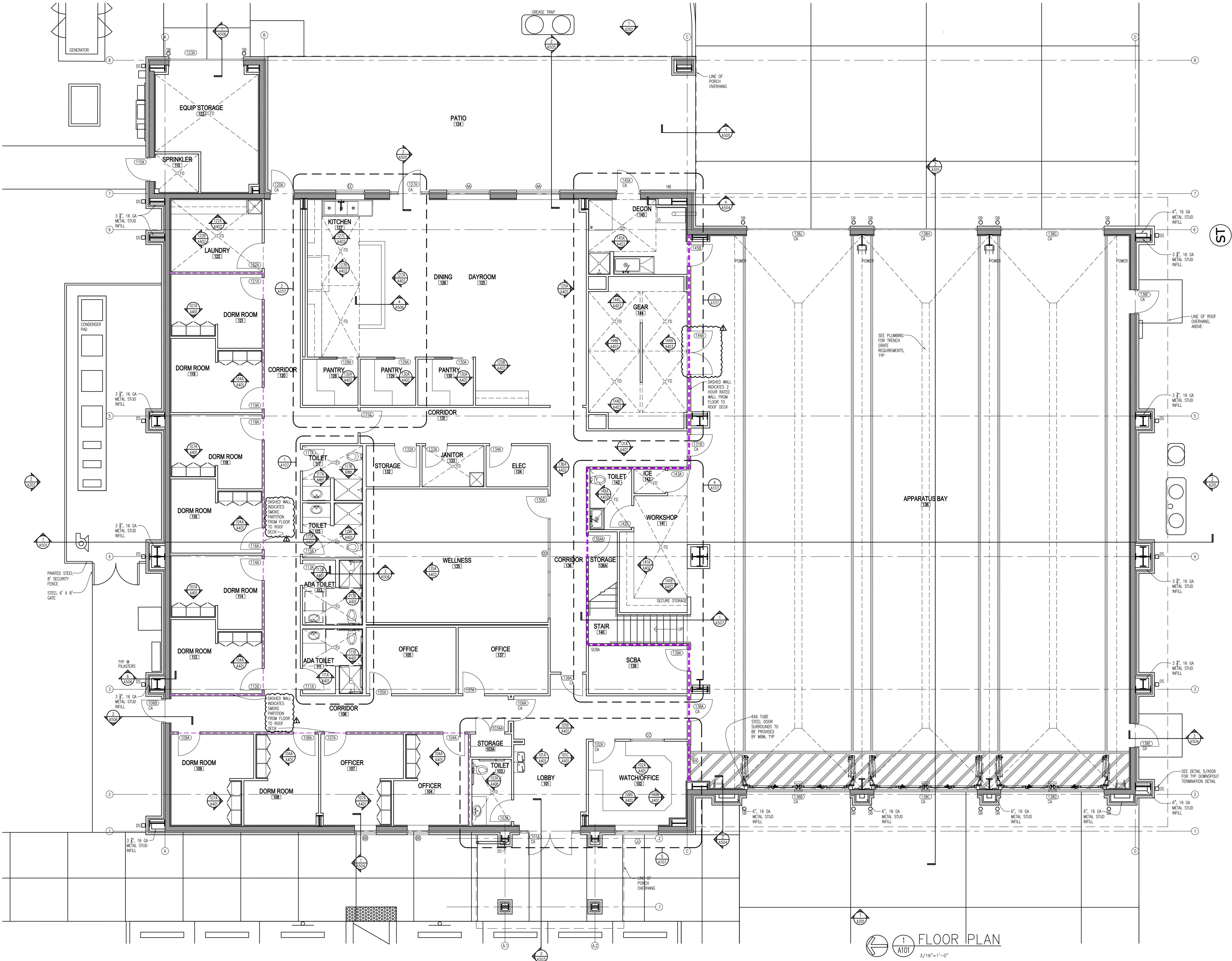
SCALE: 3/4"=1'-0"

GENERAL NOTES	
NOTE 1	PROVIDE P-1, 2x BLOCKING IN WALLS BEHIND ALL WALL MOUNTED ACCESSORIES. COORDINATE BLOCKING EXTENTS AND LOCATIONS WITH ACCESSORY INSTALLATION REQUIREMENTS.
NOTE 2	INTERIOR GYP. BOARD AT ALL ROOMS CONTAINING PLUMBING FIXTURES TO BE EQUAL TO GOLD BOND XP MOLD AND MILDEW RESISTANT GYPSUM BOARD.
NOTE 3	ALL INTERIOR METAL STUD WALLS ARE TO RECEIVE BATT INSULATION TO MATCH WALL THICKNESS.
NOTE 4	ALL FASTENERS INTO P.T. WOOD ARE TO BE HOT DIPPED GALVANIZED. WHEN ANY METAL COMES INTO CONTACT WITH P.T. WOOD, THE WOOD MUST FIRST BE WRAPPED WITH A PEEB AND STOCK NEWBRANE SO THAT IT DOES NOT CONTACT THE METAL DIRECTLY.
NOTE 5	AT ALL SINK/WALL SLAB TRANSITIONS AT DOWNPOWS, THE SINK/WALL SLAB IS TO BE DROPPED 1/4" BELOW THE LEVEL OF THE FINISH FLOOR, TO ALLOW FOR THE 1/4" DEPRESSION A PEMKO ASSA ABLOY 1877 OFFSET SADDLE DOOR THRESHOLD OR EQUAL IS TO BE USED.

ABBREVIATION LIST	
MARK	DESCRIPTION
DS	PREFINISHED METAL DOWNSPOUT BY MEM
FD	FLOOR DRAIN W/ COVER GRATE
FTE	FINISH FLOOR ELEVATION
EDF	ELECTRIC DRINKING FOUNTAIN
PREFAB	PREFABRICATED
ALUM	ALUMINUM
FLR	FLOOR
SB	4" DIA X 36" HIGH PAINTED STEEL BOLLARD, FULL W/ CONG.

SYMBOL LEGEND	
MARK	DESCRIPTION
(111)	ROOM DESIGNATION
(001)	DOOR DESIGNATION
(00)	WINDOW DESIGNATION

WALL TYPES	
NON-RATED EXTERIOR BRICK VENEER / 4" MIN. GRT. WALL	8" WIDE STEEL GRTS BY MEM. GRTS TO RECEIVE METAL WALL PANEL EXTERIOR SHEATHING. WALL TO RECEIVE R-19 VINYL BACKED INSULATION. EXTERIOR TO RECEIVE BRICK VENEER WITH ADJUSTABLE TIES @ 16" OC, TIED TO METAL WALL PANEL.
NON-RATED INTERIOR PARTITION	3 1/2" OR 4" METAL STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYP. BD. EACH SIDE. SEE DIMENSION PLAN FOR STUD DEPTH.
NON-RATED INTERIOR PARTITION	1 1/2" METAL STUDS @ 16" O.C. CLIPPED TO METAL GRTS @ 8"-0" OC.
2 HOUR RATED INTERIOR PARTITION	6" METAL STUDS @ 16" O.C. W/ (2) LAYERS TYPE X 5/8" GYP. BD. EACH SIDE TO DECK.

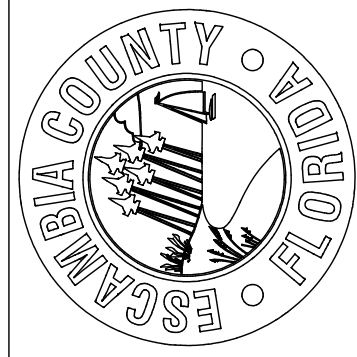


FIRST FLOOR AREA: 11,604 SF
MEZZANINE AREA: 1,176 SF

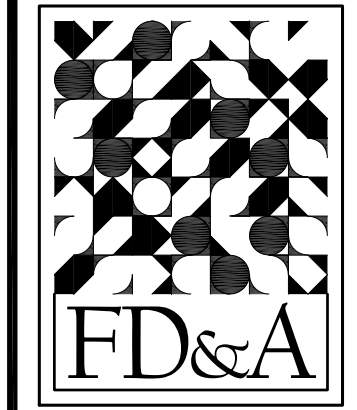
SYMBOL LEGEND

- (111) SEE INTERIOR OR EXTERIOR ELEVATION, DETAIL NUMBER LISTED OVER PAGE NUMBER
- (001) SEE WALL SECTION OR BUILDING SECTION, DETAIL NUMBER LISTED OVER PAGE NUMBER
- (110) SEE ENLARGED PLAN, DETAIL NUMBER LISTED OVER PAGE NUMBER
- (X) METAL BUILDING GRID NUMBER

ESCAMBIA COUNTY FIRE-RESCUE
PARADISE BEACH - STATION 20
1250 BAUER ROAD, PENSACOLA, FL



FORREST DANIELL
& Associates, P.C.



8007 American Way
Daphne, AL 36526
251.625.6490 wk.
251.625.6494 fx.
www.fdanell.com

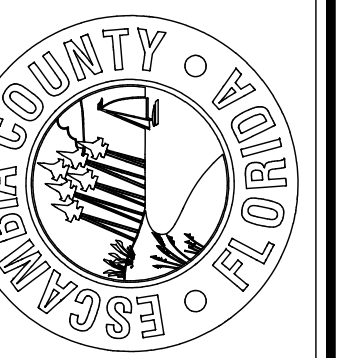
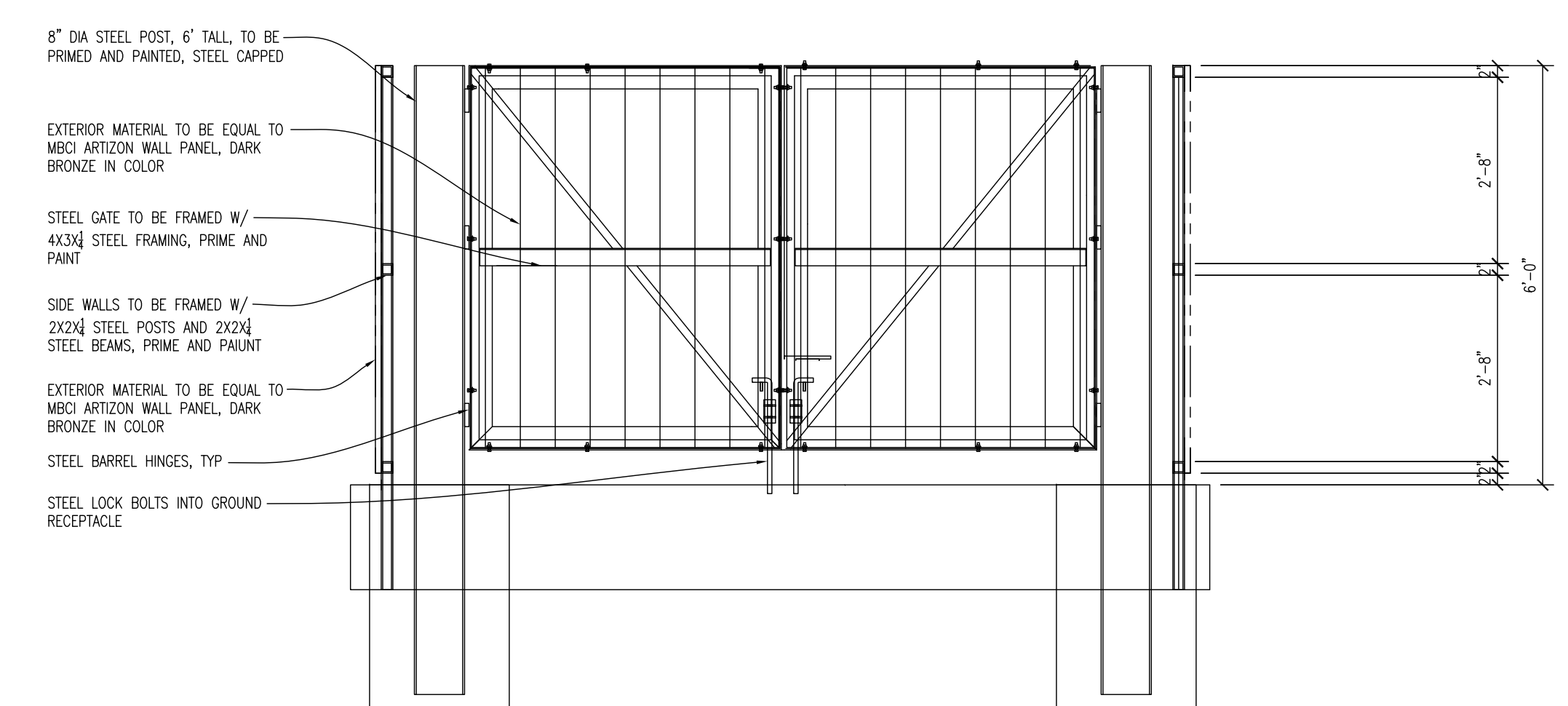
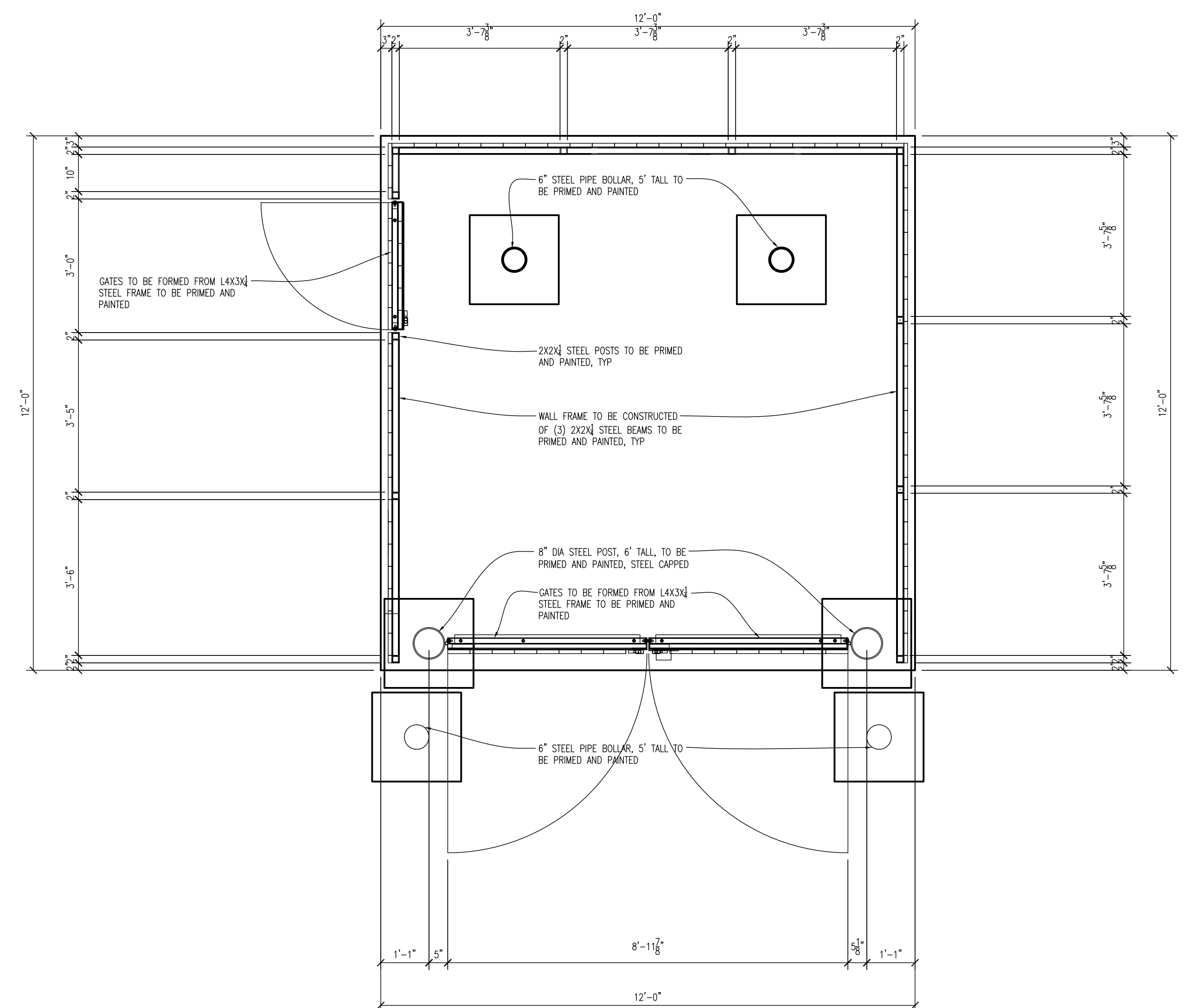
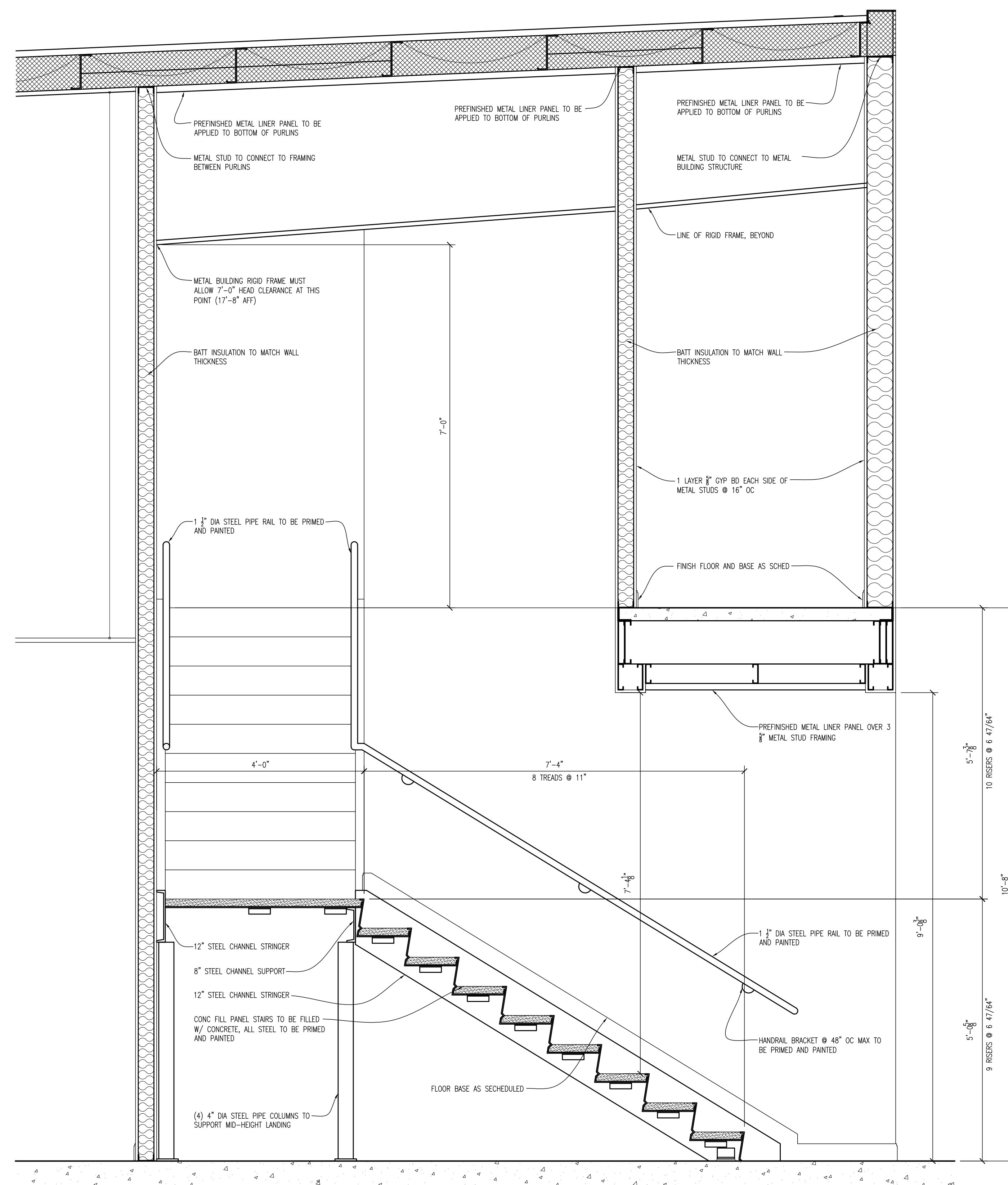
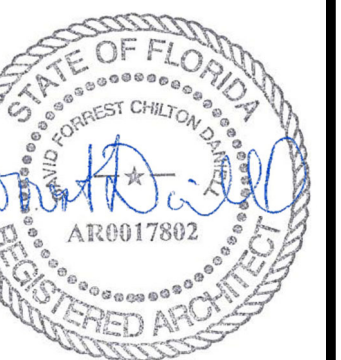
REVISIONS

ADDENDUM 2	8/4/26

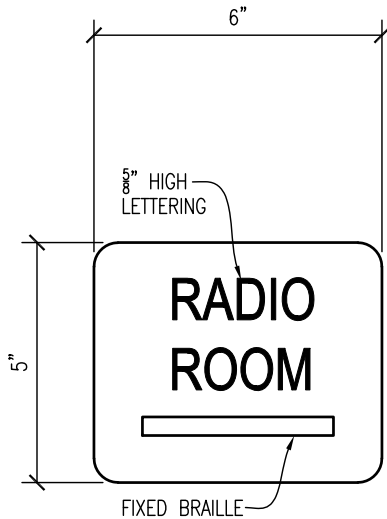


JOB #:
DATE: 4/30/2026

A101
FLOOR PLAN

[illegible]

SIGN SCHEDULE



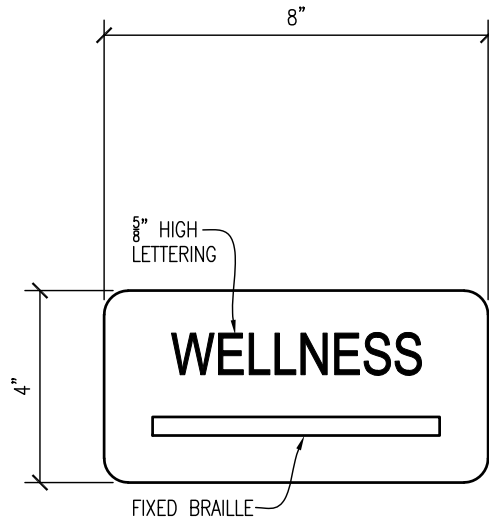
SIGN A
TEXT/BRAILLE
TWO WORD

SIGN A LOCATIONS:

OFFICE 102
OFFICE 105
PANTRY 128
PANTRY 129
PANTRY 130
OFFICE 137
SCBA 139
DECON 145
DECON 145 (EXTERIOR)

ROOM SIGN SPECS:

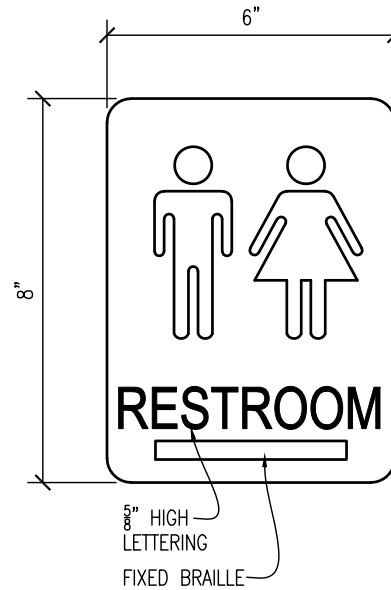
BACKGROUND: ROWMARK BRUSHED ALUMINUM
TEXT/BRAILLE: BLACK



SIGN B
TEXT/BRAILLE
SINGLE WORD

SIGN B LOCATIONS:

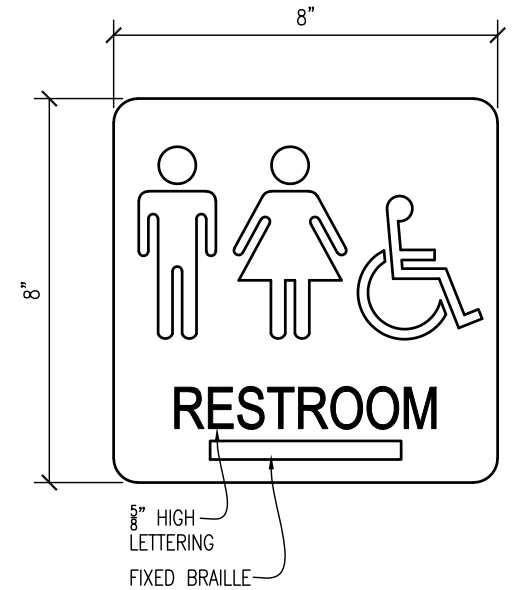
STORAGE 103A
LAUNDRY 122
SPRINKLER 110 (EXTERIOR)
STORAGE 132
JANITOR 133
ELECTRICAL 134
WELLNESS 135
ICE 143
GEAR 144



SIGN C
PICTORAL
TEXT/BRAILLE

SIGN C LOCATIONS:

TOILET 115
TOILET 117
TOILET 142



SIGN D
PICTORAL
TEXT/BRAILLE

SIGN D LOCATIONS:

RESTROOM 103
ADA TOILET 111
ADA TOILET 113

NOTES:

1. MOUNT SIGNS ON LATCH SIDE OF DOOR 3" FROM DOOR FRAME. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" AFF, MEASURED FROM BASELINE OF LOWEST TACTILE CHARACTER. MOUNT W/ 3M VINYL DOUBLE-SIDED TAPE WITH SILICONE ADHESIVE MOUNTING.
2. ALL SIGNS TO COMPLY WITH 2010 ADAG SECTION 703. ALL LETTERS TO BE UPPERCASE.